



Inspection Report

Mr. George Clooney

Property Address:
92635 Commercial Ave
San Luis Obispo, CA 93401



Blue Oak Home and Commercial Inspections

**Marcus Zuzow
805-888-7111**

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Date: 7/17/2025	Time: 12:00 PM	Report ID: 92635Commercial
Property: 92635 Commercial Ave San Luis Obispo, CA 93401	Customer: Mr. George Clooney	Real Estate Professional: Happy Realtor Sotheby's

Introduction:

Thank you for choosing **Blue Oak Home and Commercial Inspections**. We know that there are many inspectors out there that you could have used and chose us instead, and for that we are grateful. We have worked hard to assemble this report, so please be sure to read carefully.

The following numbered and attached pages are your home inspection report. The report includes video, pictures, information and recommendations. This inspection was performed in accordance with the current Standards of Practice and Code of Ethics (Spanish Estándares de la Práctica and Código de ética) of InterNACHI (International Association of Certified Home Inspectors). The Standards contain certain and very important limitations, expectations and exclusions to the inspection.

Scope:

A home inspection is intended to assist in evaluating the overall condition of the dwelling. The inspection is based on observation of the visible, readily accessible, and apparent condition of the structure and its components on this day. The results of this inspection are not intended to make any representation regarding the presence or absence of concealed defects that are not reasonably ascertainable or readily accessible in a competently performed inspection.

No warranty, guarantee or insurance by Santa Maria Valley Home and Commercial Inspections is expressed or implied. This report may not include inspection for wood destroying insects, mold, water tests, lead, asbestos, or infrared scanning unless requested as an ancillary service, if offered. A representative sampling of the building components is viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of components is performed. Not all defects will be identified during this inspection. Unexpected repairs should be anticipated. The person conducting your inspection is not a Structural Engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts.

You are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements, or recommendations mentioned in this report. Santa Maria Valley Home and Commercial Inspections recommends that the professional making any repairs inspect the property further, to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including Qualified HVAC, Plumbing, Electrical, Engineering and Roofing Contractors..

Use of photos and video:

Your report includes many photographs which help to clarify where the inspector went, what was looked at, and the condition of a system or component at the time of the inspection. Some of the pictures may be of deficiencies or problem areas, these are to help you better understand what is documented in this report and may allow you see areas or items that you normally would not see. A pictured issue does not necessarily mean that the issue was limited to that area only, but may be a representation of a condition that is in multiple places. Not all areas of deficiencies or conditions will be supported with photos.

Comment Key or Definitions:

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear. The item may include additional commentary regarding whether the component or unit is not functioning as intended, or needs further inspection or repair by a qualified contractor or qualified specialist. Items, components or units that can be repaired to satisfactory condition may not need replacement. All comments that need attention will appear in the summary at the end of the report.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

What really matters in a home inspection:

The process can be stressful. A home inspection is supposed to give you reassurance but often has the opposite effect. You will be asked to absorb a lot of information in a short time. This often includes a written report, checklist, photographs, environmental reports and what the inspector himself says during the inspection. All this combined with the seller's disclosure and what you notice yourself makes the experience even more overwhelming. What should you do? Relax. Most of your inspection will be maintenance recommendations, life expectancies and minor imperfections. These are nice to know about. However, the issues that really matter will fall into four categories: 1. Major defects. An example of this would be a significant structural failure. 2. Things that may lead to major defects. A small water leak coming from a piece of roof flashing, for example. 3. Things that may hinder your ability to finance, legally occupy or insure the home. Structural damage caused by termite infestation, for example. 4. Safety hazards. Such as a lack of AFCI/GFCI outlet protection. Anything in these categories should be corrected. Often a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4). Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that sellers are under no obligation to repair everything mentioned in the report. No home is perfect.

CALIFORNIA HOME INSPECTOR COMPLIANCE STATEMENT:

I represent that I have been trained and certified by The International Association of Certified Home Inspectors (InterNACHI) Member #20010944. I will conduct a home inspection of the previously mentioned property in accordance with the InterNACHI Code of Ethics and Standards of Practice (Spanish Estándares de la Práctica and Código de ética) and the signed Home Inspection Agreement.

Marcus Zuzow, Certified Professional Inspector®, for Santa Maria Valley Home and Commercial Inspections.

This report has been produced in accordance with the AGREEMENT and is subject to the terms and conditions agreed upon therein. The report was produced exclusively for our CLIENT and for their intended purposes. Not to be used or interpreted by anyone other than our CLIENT or REPRESENTATIVE. If you're reading this report but did not hire us, Santa Maria Valley Home and Commercial Inspections, to perform the original inspection, please note that it is likely that conditions related to the home have probably changed, even if the report is recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of a home inspection is insignificant compared to the value of the home. Protect your family and your investment, and please call us directly at (805) 888-7111 to discuss the report you're reading for this property so that we can arrange for a re-inspection.

The residence may have been furnished at the time of the inspection and portions of the interior residence may have been hidden by the occupant's belongings. In accordance with industry standards, the inspection is limited to only those surfaces that are exposed and readily accessible. The Inspector does not move furniture, lift floor-covering materials, or remove or rearrange items within closets or on shelving. On your final walk through, or at some point after furniture and personal belongings have been removed, it is important that you

inspect the interior portions of the residence that were concealed or otherwise inaccessible at the time of the inspection. Contact Santa Maria Valley Home and Commercial Inspections immediately if any adverse representative are observed that were not commented on in your inspection report.

In Attendance: Seller Representative and Both Agents	Type of building: Commercial (1 story)	Approximate age of building: Over 50 Years
Temperature: Over 100 (F) = 37 (C)	Weather: Clear	Ground/Soil surface condition: Dry
Rain in last 3 days: No		

1. Commentary / History

The building inspector shall conduct an interview of the owner or manager responsible for the maintenance of the building. The scope of the interview is to ascertain any important maintenance information regarding the general maintenance that has been done or is ongoing.

Items

1.0 Owner/Manager Interview

The Inspector Marcus Zuzow conducted a standard interview with the Operations Manager, Michelle O'Bama (12 yrs. of service) of the building at the beginning of the inspection at approximately 12:00pm on 7/17/25 and acquired the following information:

- The building at 92635 Commercial Ave. and the parking lot at 92636 Commercial Ave. was acquired by H&R Block in 1979 and has been maintained over the years as needed. Recently, the rugs used for flooring were updated and there is currently major work and sealing being done on the roof and the overhang that began to slump over time.
- In her time of service for the building Michelle recalls that there have been no major electrical issues and from the inspection it appears that it has been fairly well maintained. She said that in the recent past there was a water pipe that broke in the common wall viewed straight ahead upon entrance that affected the roof overhang and the basement. There was also a slight roof leak that affected the rear conference room at one point and caused some tile stains that are still visible. She said the repair cost was \$25k for the burst pipe repair. She also noted that some window re sealing in the front was still necessary and I confirmed this in my inspection.
- On the roof there are 4 HVAC units on the roof and she confirmed that only 2 of those units are currently working. This was also confirmed in the inspection.
- Finally, there is a homeless population in the surrounding area that occasionally becomes a problem.



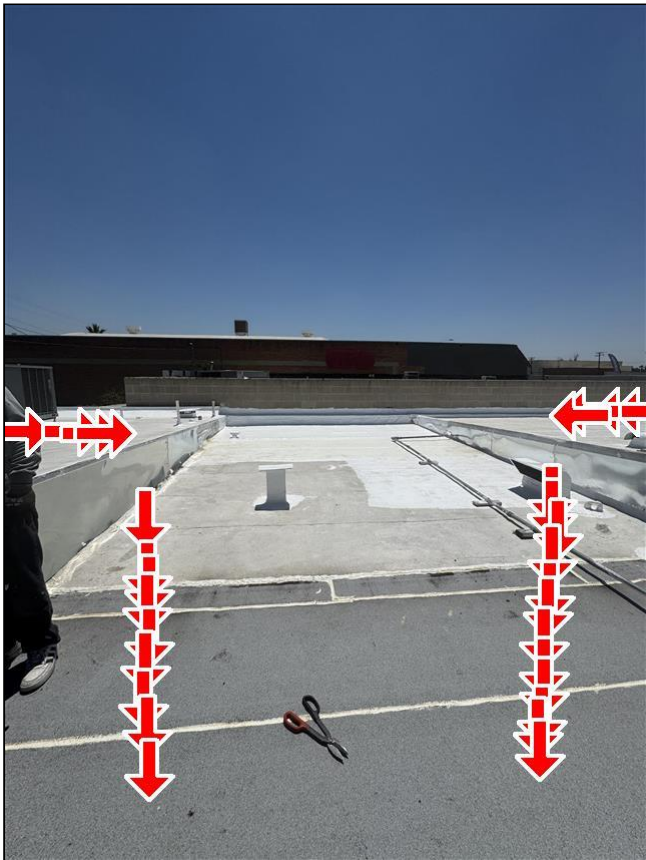
1.0 Item 1 (Picture) Front Corner

1.1 Commentary

Most of my commentary pertains to what is already in the inspection. The main points of the inspections are related to the roofing which is currently undergoing major repair and rebuilding in the overhang section. As will be mentioned, my conversation with the roofer clarified that the owner will not be paying for the gutters that are needed to be replaced in the front. To give context, the roof is slanted to drain the water in the front of the building where the water will likely pool without proper drainage installed after the repairs. I highly recommend that this issue is brought up with the seller prior to purchase. Even after

repairs, without proper drainage, the roof could collapse under the weight of pooled water. More will be mentioned pertaining to the roof in the main report.

Otherwise, the building seems to be in generally good condition with a few repairs needed , which the report will cover as well.



1.1 Item 1 (Picture) Path of Roof Water To Front

Styles & Materials		
Interviews: Manager	Commentary Based on Interviews and Observations: Provided	Building Diagrams: Not Provided
Maintenance Records: Not Provided		

2. Roofing / HVAC Units

The building inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The building inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The building inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Items

2.0 Roof Coverings

Inspected- The roof appears to be in good condition as it was just recently sealed by roofers that were also performing major repairs on the front overhang of the building. The roof is covered with sheet asphalt fiberglass material that is common to commercial flat roofs.

- The overhang repairs being performed will remove old rafter wood and extend the overhang with new wood and a front facing wall facade. Prior to the repairs the end of the old rafter wood was deteriorated leading to the slumping of the old overhang.

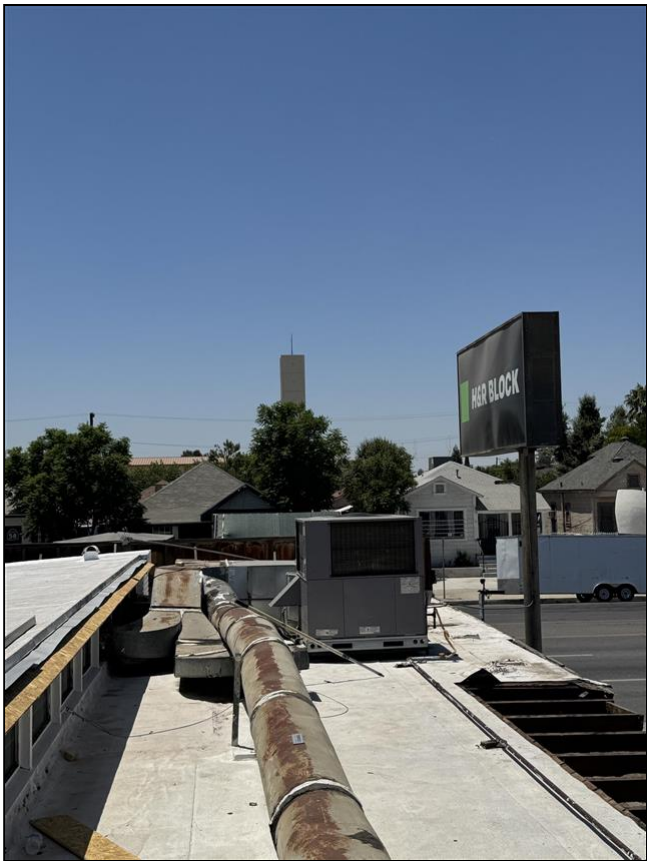
-The roofers will not be fixing or repairing the facade facing the street which has wood that is old and damaged by weathering. It is possible to repaint the wood to last longer, but left as is , the facade will eventually lose structural integrity and begin to fall apart. It is recommended to discuss this with the seller and if needed, contact the current (or another) roofer to repair/replace that wood and paint it for protection.



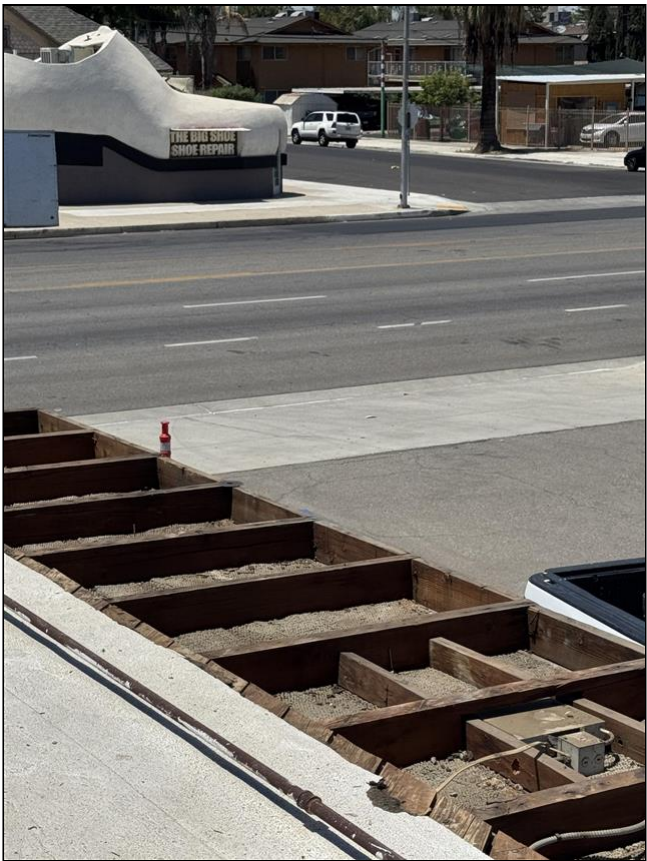
2.0 Item 1 (Picture) Recent Sealing



2.0 Item 2 (Picture) Front Roof



2.0 Item 3 (Picture) Front Roof 2



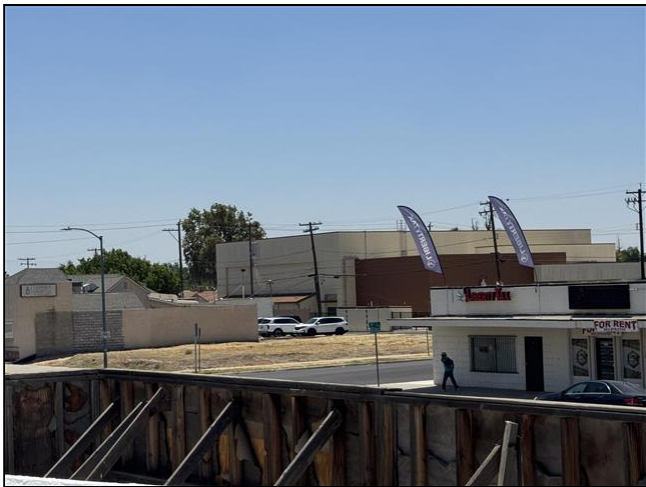
2.0 Item 4 (Picture) Front Overhang



2.0 Item 5 (Picture) Roof Work



2.0 Item 6 (Picture) Street Facing Facade



2.0 Item 7 (Picture) Street Facing Facade 2



2.0 Item 8 (Picture) A/C Vents

2.1 Roof Penetrations

Inspected- Well sealed roof penetrations due to recent work.



2.1 Item 1 (Picture) Vents 1



2.1 Item 2 (Picture) Vents 2



2.1 Item 3 (Picture) Vents 3

2.2 Roof Drainage Systems

Inspected- It is my impression from the conversation with the roofer that only the front overhang and facade on the building are being repaired. Other recommended work was declined by the owner/seller. Unfortunately some of the recommended work will still need to be done. As mentioned in my commentary, the roofer indicated that despite the removal of the front gutters, the work plan does not include the installation of a drainage system to collect all of the water that will pool in front of the facade. He indicated that such an installation would cost a few thousand dollars more. The roof as a whole is directing water to the front of the building. This additional work by a professional contractor is urgently recommended to avoid water damage to the new overhang and roof.

-On the side facing the street, the facade that I assume will remain is separating from the roof. Also, there is a crack that developed in the stucco in the overhang several feet from the front corner. I recommend a having a general contractor survey the entire facade and possible replacement. The crack should also be looked at to determine whether major repair is required.

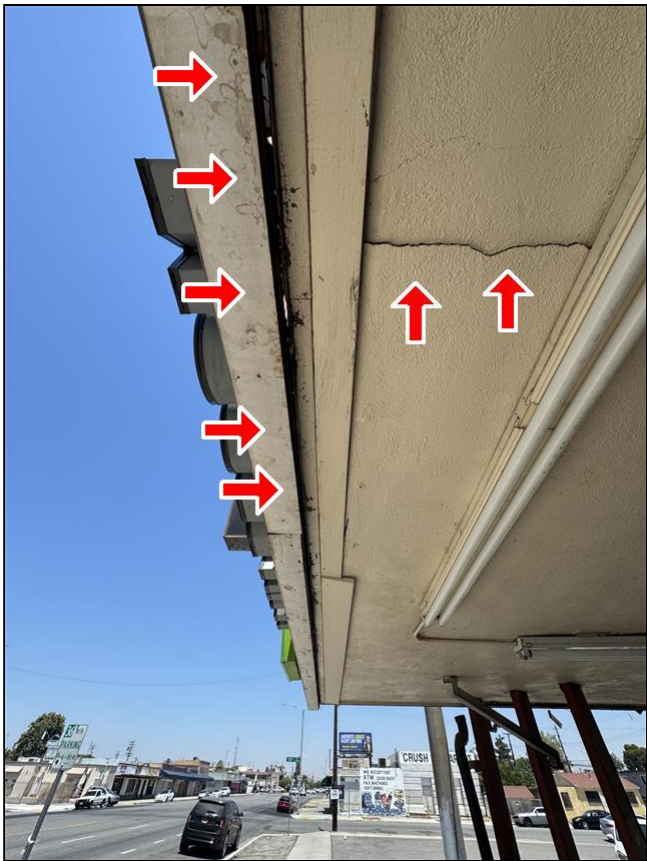
-There is an incomplete drain on the alley side of the roof. It is recommended to have the drain completed to the ground for efficient and non damaging drainage.



2.2 Item 1 (Picture)



2.2 Item 2 (Picture)



2.2 Item 3 (Picture) Crack and Separation



2.2 Item 4 (Picture) Separation



2.2 Item 5 (Picture) Incomplete Drainage

Styles & Materials

Roof Covering:
Asphalt/Fiberglass

Viewed roof covering from:
Walked roof

Roof Structure:
2 X 6 Rafters
Sheathing

Roof-Type:
Flat

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Exterior Building

The building inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The building inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The building inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The building inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Items

3.0 Building Description

Inspected- The building is currently in OK shape but in need of painting and some repairs on the exterior. Recommendations will be forthcoming in the report.



3.0 Item 1 (Picture) Roof and Overhang Work

3.1 Doors

Inspected- All of the doors are in good working order, but the front facing door facing the street has been temporarily screwed shut to avoid people entering through that door. Minor areas should be touched up with paint or repainted due to wear.



3.1 Item 1 (Picture) Door 2



3.1 Item 2 (Picture) Door 3

3.2 Walls and Wall Protrusions

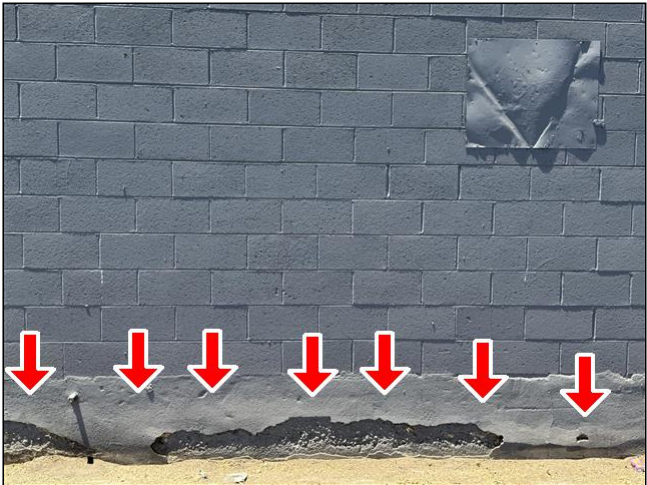
Inspected- the base of the wall on the alley side is in need of repair and repainting to avoid further environmental damage to the wall. It is recommended to have a masonry contractor make the repairs.

- On the wood portion of the siding around the front exterior, there are several areas that should be repainted or touched up to prevent environmental damage.

- On both the alley side and areas presumably not being repaired by the seller there is some wood fascia that is old and needs to be replaced and repainted. It is recommended to have all of that wood replaced since it is warped.



3.2 Item 1 (Picture) Damaged Masonry



3.2 Item 2 (Picture) Damaged Masonry 2



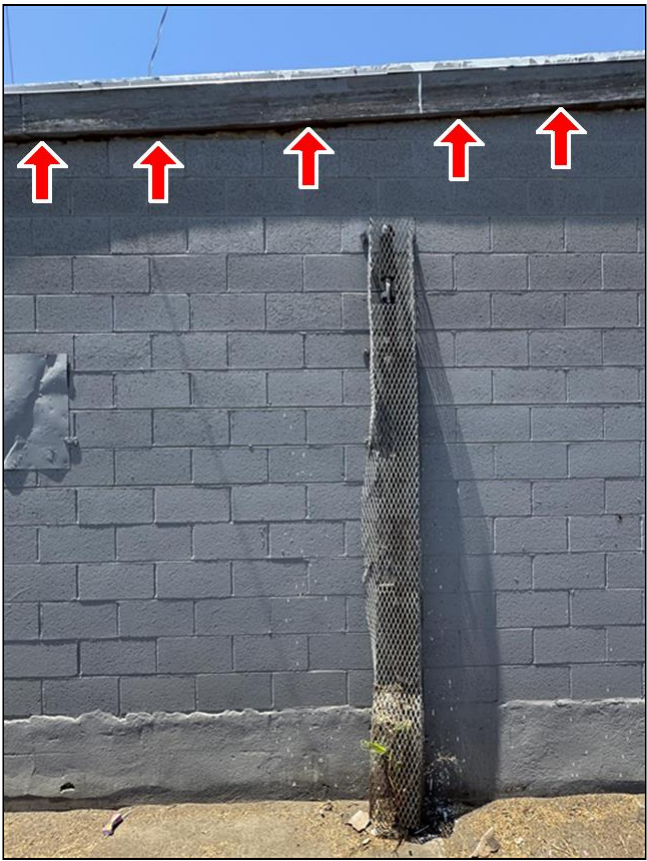
3.2 Item 3 (Picture) Siding Chipping



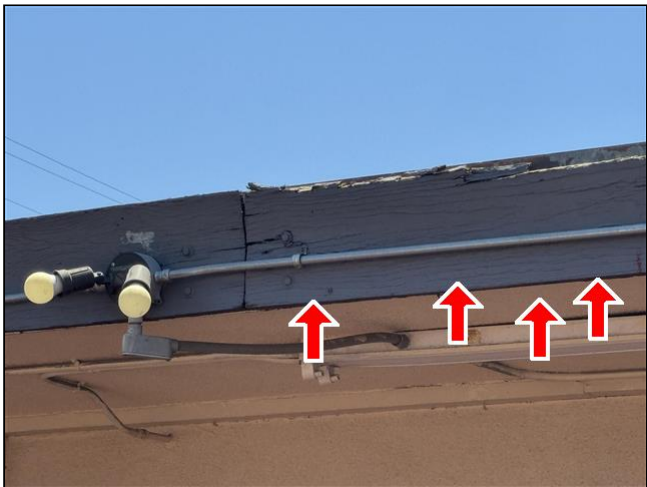
3.2 Item 4 (Picture) Siding Chipping 2



3.2 Item 5 (Picture) Siding Chipping 3



3.2 Item 6 (Picture) Old Wood Fascia



3.2 Item 7 (Picture) Old Fascia

3.3 Eaves and Soffits

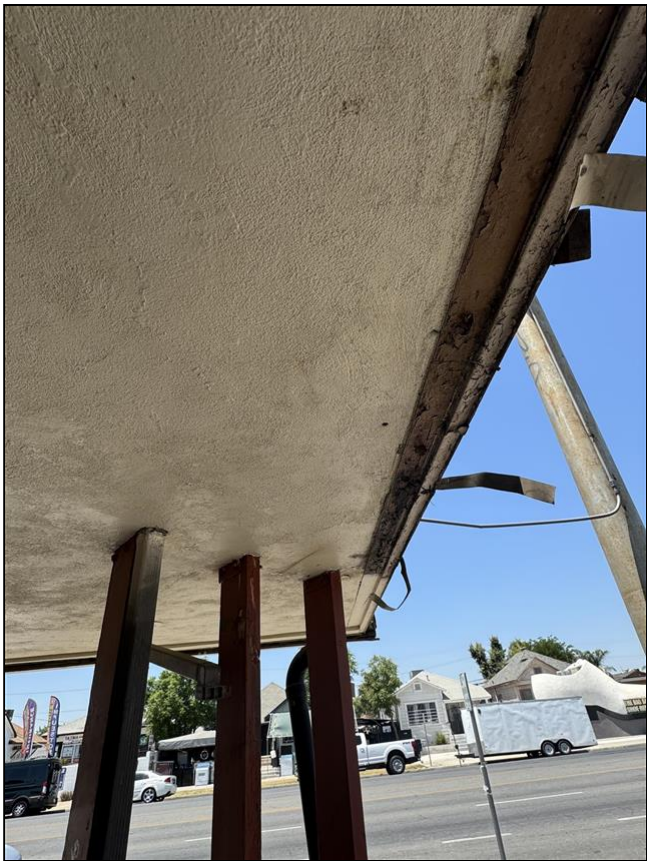
Inspected- As mentioned in Section 2.2, there is a large crack in the front overhang that should be assessed and repaired. However, the currently exposed overhang stucco is in relatively good condition and additional work will determine its final condition.



3.3 Item 1 (Picture) Overhang



3.3 Item 2 (Picture) Overhang 2



3.3 Item 3 (Picture) Overhang 3



3.3 Item 4 (Picture) Overhang 4

3.4 Windows

Inspected- Windows are all in good condition with the exception of a few windows that should be resealed on the inside. I will discuss more in section 8 of this report.



3.4 Item 1 (Picture) Ext Window



3.4 Item 2 (Picture) Ext Window 2



3.4 Item 3 (Picture) Ext Window 3

3.5 Walkways

Inspected- The walkways were all in generally good shape at the time of inspection.



3.5 Item 1 (Picture) Walkway 1



3.5 Item 2 (Picture) Walkway 2



3.5 Item 3 (Picture) Walkway 3



3.5 Item 4 (Picture) Walkway 4



3.5 Item 5 (Picture) Alley

3.6 Exterior lighting and landscaping

Inspected- The exterior lighting in general worked with a few exceptions.

-According to Michelle, the tallest lights on a pole on the side of the front building do not work. However, the lights on the shorter pole do work. It is recommended to remove or repair those lights that aren't working.

- There are several fluorescent lights under the overhang, now being repaired, that are burnt out and need to be replaced. The ballasts seem to be in working order though for the lights that are working in that row.



3.6 Item 1 (Picture) Working Light



3.6 Item 2 (Picture) Non Working Lights



3.6 Item 3 (Picture) Lights



3.6 Item 4 (Picture) Lights 3

Styles & Materials		
Siding Material: Wood Full brick Masonry	Exterior Entry Doors: Steel	Driveway: Concrete Asphalt Parking lot
General Topography: Flat	Number of Parking levels: One	Number of parking spaces: 15+
Access Roads: Paved Driveway City Street		

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Parking Lot / Accessibility - 930 Chester Ave.

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The building inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The building inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The building inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the building inspector or other persons.

Items

4.0 Parking

Inspected- The lot appears to be in generally good condition with only minor cracks in the asphalt throughout. There is a broken parking block and others that or chipped that should be repaired or replaced. The parking lines in the lot should be repainted as they are now fairly faded.

-The address 930 Chester Ave is related to the parking area which comprises that property.



4.0 Item 1 (Picture) Broken Parking Block



4.0 Item 2 (Picture) Lot 1



4.0 Item 3 (Picture) Lot 2



4.0 Item 4 (Picture) Faded Handicap

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. HVAC

The building inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to building; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The building inspector shall describe: Energy source; and Heating equipment and distribution type. The building inspector shall operate the systems using normal operating controls. The building inspector shall open readily openable access panels provided by the manufacturer or installer for routine building owner maintenance. The building inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Items

5.0 HVAC Comments

Inspected- As mentioned in my commentary, only 2 of the HVAC Units were working at the time of inspection. Those two units were only servicing the front office areas, the bathrooms, and the middle room used for storage. Fortunately both were working well and along with their thermostats were tested for efficiency. It is recommended to have an HVAC technician determine if the other 2 units can be fixed, and if not, they should be replaced.



5.0 Item 1 (Picture) HVAC 1



5.0 Item 2 (Picture) HVAC 2



5.0 Item 3 (Picture) HVAC 3



5.0 Item 4 (Picture) HVAC 4



5.0 Item 5 (Picture) Thermostat 1



5.0 Item 6 (Picture) Thermostat 2



5.0 Item 7 (Picture) Thermostat 3



5.0 Item 8 (Picture) Efficiency Testing

Styles & Materials

General Comments on HVAC
Source:

Heat/Cooling Pump Forced Air

Energy
Source:

Electric
Natural gas

Number of Heat Systems (excluding
wood):

Four

Heat System Brand:
N/A

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Electrical- Entire Building

The building inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The building inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The building inspector shall report any observed aluminum branch circuit wiring. The building inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The building inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Items

6.0 Electrical Comments

Inspected- The main utility closet was outside the building in the alleyway and there wasn't a key to unlock it for the inspection. However, the electrical was tested throughout the building and was generally in good working order. There were several sub-panels that controlled each section of the interior.

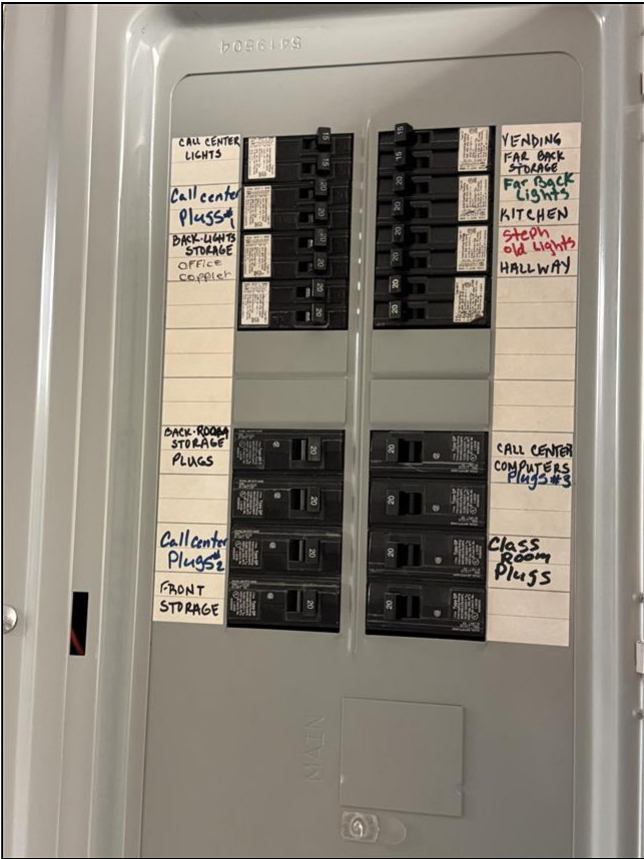
-Receptacles were tested throughout the building and there were 2-3 receptacles on the wall opposite the screen in the media room that did not work. Close to the screen, below it was a receptacle that was very loose and not properly grounded and nearby was a receptacle that was missing its plate. It is recommended to have a licensed electrician survey the non-operable receptacles and repair the loose receptacle and plateless one.



6.0 Item 1 (Picture) Utility Cabinet



6.0 Item 2 (Picture) Sub Panel 1



6.0 Item 3 (Picture) Sub Panel 2



6.0 Item 4 (Picture) Utility Room



6.0 Item 5 (Picture) Test Front



6.0 Item 6 (Picture) Bathroom GFCI Test



6.0 Item 7 (Picture) End Media Room Test



6.0 Item 8 (Picture) Media Missing Plate



6.0 Item 9 (Picture) Media Loose Bad Ground



6.0 Item 10 (Picture) Media Loose Bad Ground
2



6.0 Item 11 (Picture) Test Conference 1



6.0 Item 12 (Picture) Test Conference 2



6.0 Item 13 (Picture) Old Comm Basement

6.1 Smoke Detectors

-Smoke detectors were not found throughout the building. It is recommended to have the owner place them throughout the building unless there is already a system in place that was overlooked.

NFPA 72 mandates that smoke detectors be installed in all commercial buildings following guidelines considering the building’s layout, occupancy type, and fire risk assessment. [1]

NFPA 72 recommends hardwired smoke detectors with the building’s electrical system, although wireless smoke detectors are permissible under certain conditions to enhance coverage and reliability.

Specific requirements are detailed in the California Building Standards Code (Title 24) and the California Fire Code, as well as local ordinances. These codes outline where and how smoke detectors must be installed, including the types of detectors, their placement, and required maintenance.

Styles & Materials

General Electrical Comments: Provided	Electrical Service Conductors: Below ground	Panel Capacity: Adequate
Panel Type: Circuit breakers	Electric Panel Manufacturer: Unknown	

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Plumbing

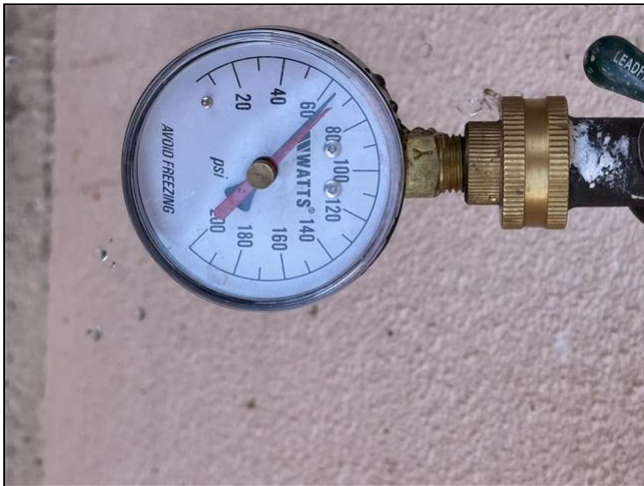
The building inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The building inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The building inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The building inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Items

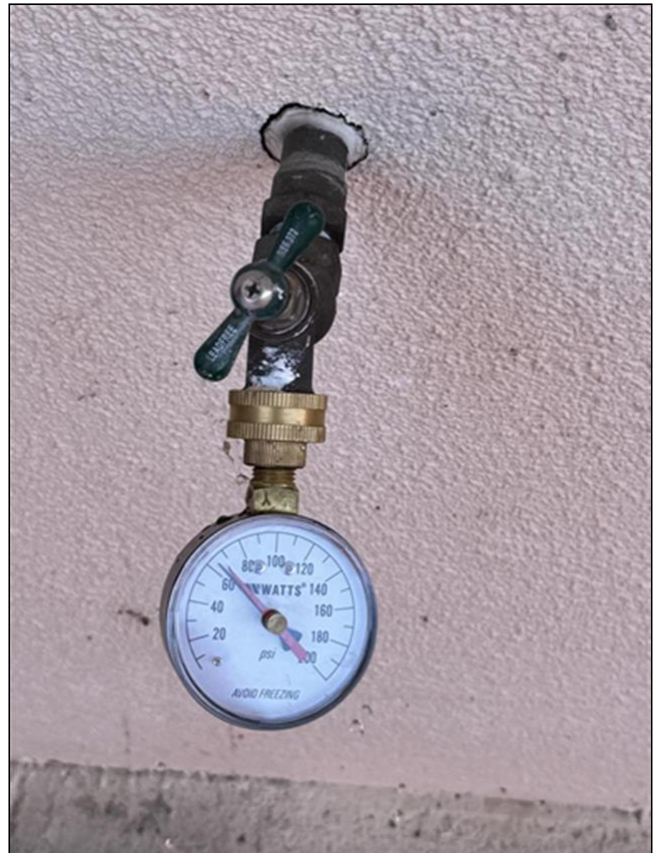
7.0 Plumbing Comments

Inspected- The bathroom sinks were both functional without leaks and the toilets were also functional. The water pressure tested at 65 psi which is slightly low but better for older pipes as those found in this building. There was a small electrical water heater that supplied the break room and bathroom sinks and it appeared to be in good working condition.

-As mentioned in the commentary, there was a pipe that bursted in a wall of the front of the building, but it was repaired and is no longer an issue.



7.0 Item 1 (Picture) 65 PSI-1



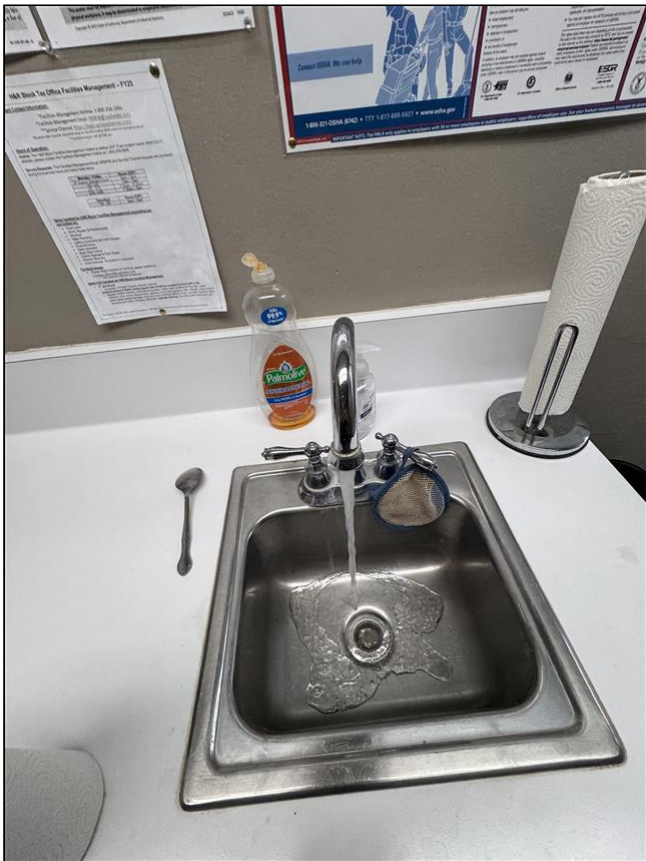
7.0 Item 2 (Picture) 65 PSI-2



7.0 Item 3 (Picture) Sink



7.0 Item 4 (Picture) Toilet 1



7.0 Item 5 (Picture) Sink 2



7.0 Item 6 (Picture) Sink 3



7.0 Item 7 (Picture) Urinal



7.0 Item 8 (Picture) Toilet 2



7.0 Item 9 (Picture) Electrical Water Heater

Styles & Materials

General Plumbing Comments:
Provided

Water Source:
Public

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Interiors- Entire Building

The building inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The building inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The building inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Items

8.0 Interior Comments

Inspected-The interior of the building was generally in good shape and has been well maintained. There are only a few items listed that may require attention, but mainly for esthetic purposes. There were some leaks in the past and the remnant are visually evident in the conference room and the end storage room.

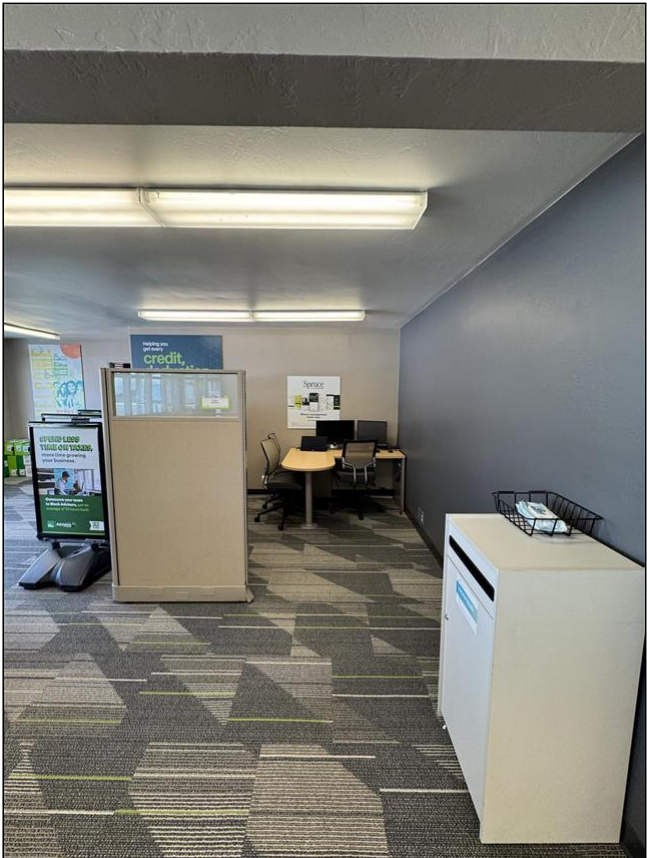
8.1 Ceilings

Inspected- The ceilings are generally in good condition, but as mentioned, there were a few roof leaks in the past that have now been addressed by the owner/seller in the current repairs. Those leaks were in the rear conference room and the rear hallway storage room. The roof is being entirely re-sealed and unless a pipe were to burst, there shouldn't be any additional leaks in the near future.

-There are a few missing tiles in the storage room mentioned and also some slightly buckled tiles in the conference room



8.1 Item 1 (Picture) Front Ceilings



8.1 Item 2 (Picture) Front Ceilings 2



8.1 Item 3 (Picture) Bathroom Ceiling



8.1 Item 4 (Picture) Media Room Ceiling



8.1 Item 5 (Picture) Conference Room Ceiling Buckling



8.1 Item 6 (Picture) Small Leak CR



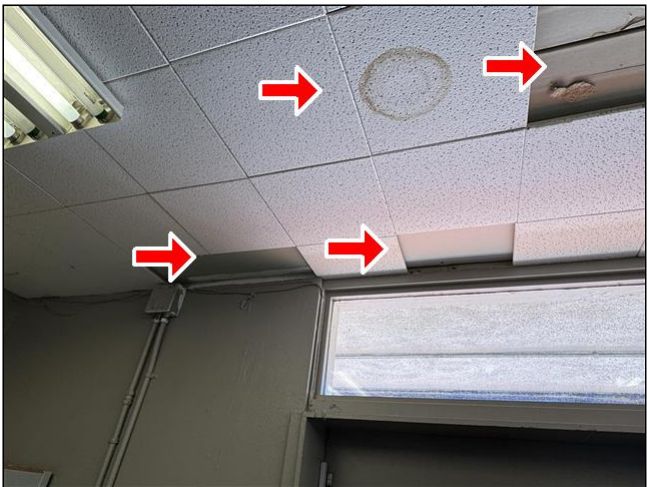
8.1 Item 7 (Picture) Larger Leak CR



8.1 Item 8 (Picture) CR



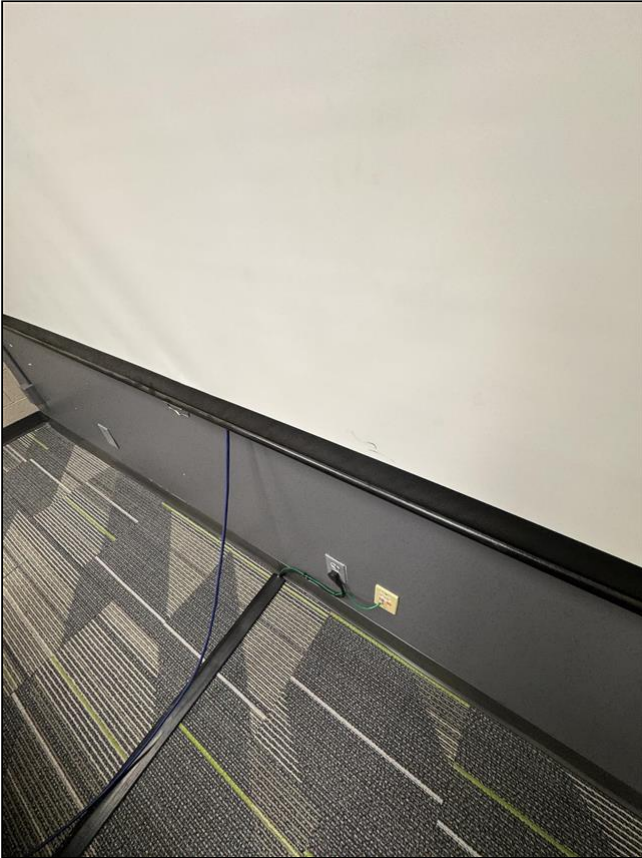
8.1 Item 9 (Picture) Missing Tiles and Leaks Storage



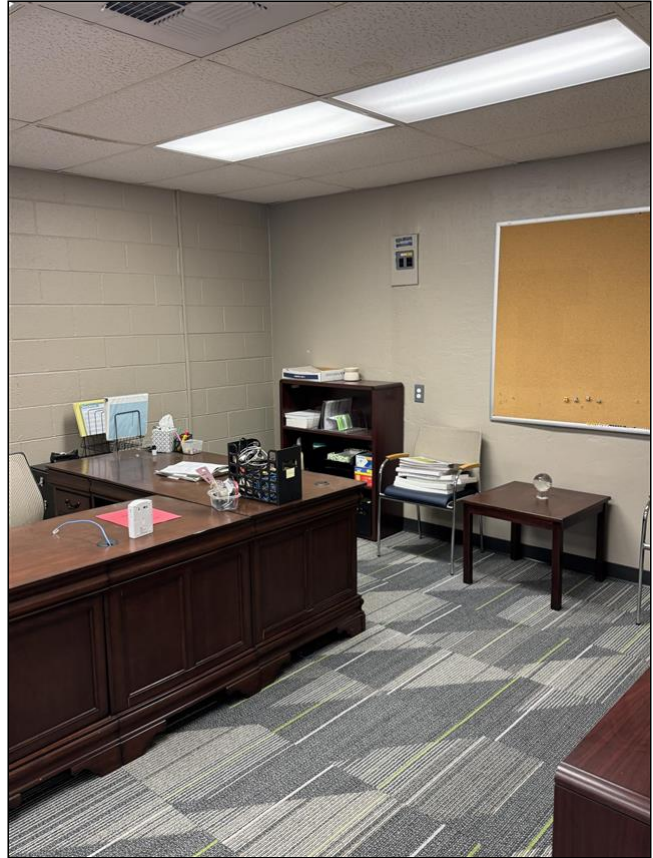
8.1 Item 10 (Picture) Small Leak 2 Storage

8.2 Walls

Inspected- The walls were in good condition at the time of inspection.



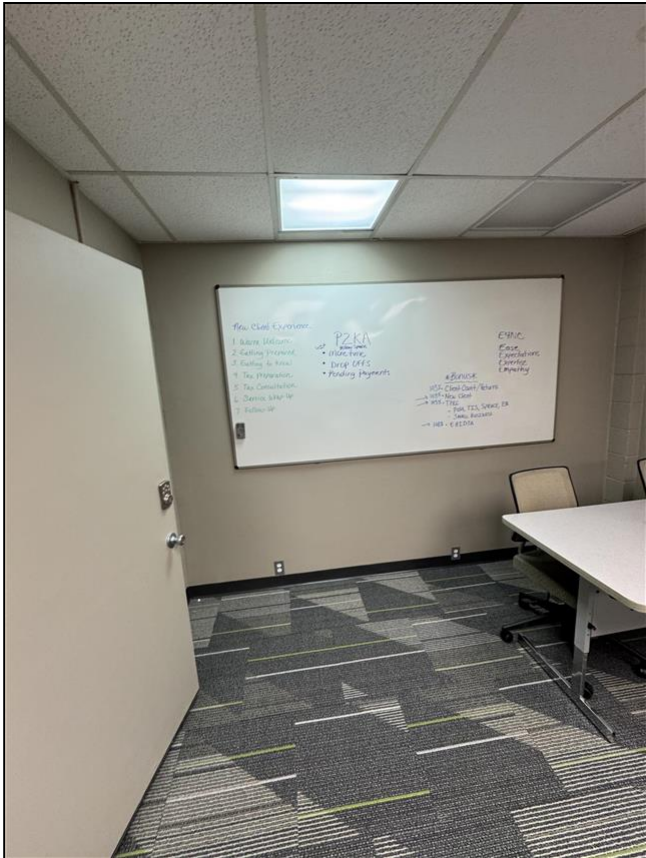
8.2 Item 1 (Picture) Walls 1



8.2 Item 2 (Picture) Walls 2

8.3 Floors and Trim

Inspected- The floors and trim were in good condition at the time of inspection



8.3 Item 1 (Picture) Floors 1



8.3 Item 2 (Picture) Floors 2



8.3 Item 3 (Picture) Floors 3



8.3 Item 4 (Picture) Floors 4

8.4 Doors (representative number)

NI- All of the doors were in good working order, but the front side door facing the street was screwed shut and should be released and repaired if necessary. I could not inspect this door due to its state at the time of inspection.



8.4 Item 1 (Picture) Front Door Screwed Shut

8.5 Windows (representative number)

Inspected- The glass in the windows were in very good condition, but some of the windows were loose and are in need of re sealing to avoid drafts and improve HVAC efficiency.



8.5 Item 1 (Picture) Windows 1



8.5 Item 2 (Picture) Windows 2



8.5 Item 3 (Picture) Windows 3



8.5 Item 4 (Picture) Windows 4



8.5 Item 5 (Picture) Windows 5

Styles & Materials

General Interior Comments:
Provided

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary



Blue Oak Home and Commercial Inspections

805-888-7111

Customer

Mr. George Clooney

Address

92635 Commercial Ave
San Luis Obispo, CA 93401

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Commentary / History

1.0 Owner/Manager Interview

The Inspector Marcus Zuzow conducted a standard interview with the Operations Manager, Michelle O'Bama (12 yrs. of service) of the building at the beginning of the inspection at approximately 12:00pm on 7/17/25 and acquired the following information:

- The building at 92635 Commercial Ave. and the parking lot at 92636 Commercial Ave. was acquired by H&R Block in 1979 and has been maintained over the years as needed. Recently, the rugs used for flooring were updated and there is currently major work and sealing being done on the roof and the overhang that began to slump over time.

- In her time of service for the building Michelle recalls that there have been no major electrical issues and from the inspection it appears that it has been fairly well maintained. She said that in the recent past there was a water pipe that broke in the common wall viewed straight ahead upon entrance that affected the roof overhang and the basement. There was also a slight roof leak that affected the rear conference room at one point and caused some tile stains that are still visible. She said the repair cost was \$25k for the burst pipe repair. She also noted that some window re sealing in the front was still necessary and I confirmed this in my inspection.

- On the roof there are 4 HVAC units on the roof and she confirmed that only 2 of those units are currently working. This was also confirmed in the inspection.

-Finally, there is a homeless population in the surrounding area that occasionally becomes a problem.

1.1 Commentary

Most of my commentary pertains to what is already in the inspection. The main points of the inspections are related to the roofing which is currently undergoing major repair and rebuilding in the overhang section. As will be mentioned, my conversation with the roofer clarified that the owner will not be paying for the gutters that are needed to be replaced in the front. To give context, the roof is slanted to drain the water in the front of the building where the water will likely pool without proper drainage installed after the repairs. I highly recommend that this issue is brought up with the seller prior to purchase. Even after repairs, without proper drainage, the roof could collapse under the weight of pooled water. More will be mentioned pertaining to the roof in the main report.

Otherwise, the building seems to be in generally good condition with a few repairs needed , which the report will cover as well.

2. Roofing / HVAC Units

2.0 Roof Coverings

Inspected- The roof appears to be in good condition as it was just recently sealed by roofers that were also performing major repairs on the front overhang of the building. The roof is covered with sheet asphalt fiberglass material that is common to commercial flat roofs.

- The overhang repairs being performed will remove old rafter wood and extend the overhang with new wood and a front facing wall facade. Prior to the repairs the end of the old rafter wood was deteriorated leading to the slumping of the old overhang.

-The roofers will not be fixing or repairing the facade facing the street which has wood that is old and damaged by weathering. It is possible to repaint the wood to last longer, but left as is , the facade will eventually lose structural integrity and begin to fall apart. It is recommended to discuss this with the seller and if needed, contact the current (or another) roofer to repair/replace that wood and paint it for protection.

2.2 Roof Drainage Systems

Inspected- It is my impression from the conversation with the roofer that only the front overhang and facade on the building are being repaired. Other recommended work was declined by the owner/seller. Unfortunately some of the recommended work will still need to be done. As mentioned in my commentary, the roofer indicated that despite the removal of the front gutters, the work plan does not include the installation of a drainage system to collect all of the water that will pool in front of the facade. He indicated that such an installation would cost a few thousand dollars more. The roof as a whole is directing water to the front of the building. This additional work by a professional contractor is urgently recommended to avoid water damage to the new overhang and roof.

-On the side facing the street, the facade that I assume will remain is separating from the roof. Also, there is a crack that developed in the stucco in the overhang several feet from the front corner. I recommend a having a general contractor survey the entire facade and possible replacement. The crack should also be looked at to determine whether major repair is required.

-There is an incomplete drain on the alley side of the roof. It is recommended to have the drain completed to the ground for efficient and non damaging drainage.

3. Exterior Building

3.1 Doors

Inspected- All of the doors are in good working order, but the front facing door facing the street has been temporarily screwed shut to avoid people entering through that door. Minor areas should be touched up with paint or repainted due to wear.

3.2 Walls and Wall Protrusions

Inspected- the base of the wall on the alley side is in need of repair and repainting to avoid further environmental damage to the wall. It is recommended to have a masonry contractor make the repairs.

- On the wood portion of the siding around the front exterior, there are several areas that should be repainted or touched up to prevent environmental damage.

- On both the alley side and areas presumably not being repaired by the seller there is some wood fascia that is old and needs to be replaced and repainted. It is recommended to have all of that wood replaced since it is warped.

3.4 Windows

Inspected- Windows are all in good condition with the exception of a few windows that should be resealed on the inside. I will discuss more in section 8 of this report.

3.6 Exterior lighting and landscaping

Inspected- The exterior lighting in general worked with a few exceptions.

-According to Michelle, the tallest lights on a pole on the side of the front building do not work. However, the lights on the shorter pole do work. It is recommended to remove or repair those lights that aren't working.

- There are several fluorescent lights under the overhang, now being repaired, that are burnt out and need to be replaced. The ballasts seem to be in working order though for the lights that are working in that row.

4. Parking Lot / Accessibility - 930 Chester Ave.

4.0 Parking

Inspected- The lot appears to be in generally good condition with only minor cracks in the asphalt throughout. There is a broken parking block and others that are chipped that should be repaired or replaced. The parking lines in the lot should be repainted as they are now fairly faded.

-The address 930 Chester Ave is related to the parking area which comprises that property.

6. Electrical- Entire Building

6.1 Smoke Detectors

-Smoke detectors were not found throughout the building. It is recommended to have the owner place them throughout the building unless there is already a system in place that was overlooked.

NFPA 72 mandates that smoke detectors be installed in all commercial buildings following guidelines considering the building's layout, occupancy type, and fire risk assessment. [1]

NFPA 72 recommends hardwired smoke detectors with the building's electrical system, although wireless smoke detectors are permissible under certain conditions to enhance coverage and reliability.

Specific requirements are detailed in the California Building Standards Code (Title 24) and the California Fire Code, as well as local ordinances. These codes outline where and how smoke detectors must be installed, including the types of detectors, their placement, and required maintenance.

8. Interiors- Entire Building

8.0 Interior Comments

Inspected-The interior of the building was generally in good shape and has been well maintained. There are only a few items listed that may require attention, but mainly for esthetic purposes. There were some leaks in the past and the remnant are visually evident in the conference room and the end storage room.

8.1 Ceilings

Inspected- The ceilings are generally in good condition, but as mentioned, there were a few roof leaks in the past that have now been addressed by the owner/seller in the current repairs. Those leaks were in the rear conference room and the rear hallway storage room. The roof is being entirely re-sealed and unless a pipe were to burst, there shouldn't be any additional leaks in the near future.

-There are a few missing tiles in the storage room mentioned and also some slightly buckled tiles in the conference room

8.4 Doors (representative number)

NI- All of the doors were in good working order, but the front side door facing the street was screwed shut and should be released and repaired if necessary. I could not inspect this door due to its state at the time of inspection.

8.5 Windows (representative number)

Inspected- The glass in the windows were in very good condition, but some of the windows were loose and are in need of re sealing to avoid drafts and improve HVAC efficiency.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the building inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Marcus Zuzow

Electrical Issues



Blue Oak Home and Commercial Inspections

805-888-7111

Customer

Mr. George Clooney

Address

92635 Commercial Ave
San Luis Obispo, CA 93401

6. Electrical- Entire Building

6.0 Electrical Comments

Inspected- The main utility closet was outside the building in the alleyway and there wasn't a key to unlock it for the inspection. However, the electrical was tested throughout the building and was generally in good working order. There were several sub-panels that controlled each section of the interior.

-Receptacles were tested throughout the building and there were 2-3 receptacles on the wall opposite the screen in the media room that did not work. Close to the screen, below it was a receptacle that was very loose and not properly grounded and nearby was a receptacle that was missing its plate. It is recommended to have a licensed electrician survey the non-operable receptacles and repair the loose receptacle and plateless one.

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Plumbing Issues



Blue Oak Home and Commercial Inspections

805-888-7111

Customer

Mr. George Clooney

Address

92635 Commercial Ave
San Luis Obispo, CA 93401

7. Plumbing

7.0 Plumbing Comments

Inspected- The bathroom sinks were both functional without leaks and the toilets were also functional. The water pressure tested at 65 psi which is slightly low but better for older pipes as those found in this building. There was a small electrical water heater that supplied the break room and bathroom sinks and it appeared to be in good working condition.

-As mentioned in the commentary, there was a pipe that bursted in a wall of the front of the building, but it was repaired and is no longer an issue.

Heat/Cool Issues



Blue Oak Home and Commercial Inspections

805-888-7111

Customer

Mr. George Clooney

Address

92635 Commercial Ave
San Luis Obispo, CA 93401

5. HVAC

5.0 HVAC Comments

Inspected- As mentioned in my commentary, only 2 of the HVAC Units were working at the time of inspection. Those two units were only servicing the front office areas, the bathrooms, and the middle room used for storage. Fortunately both were working well and along with their thermostats were tested for efficiency. It is recommended to have an HVAC technician determine if the other 2 units can be fixed, and if not, they should be replaced.

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INVOICE

Blue Oak Home and Commercial
Inspections
805-888-7111
Inspected By: Marcus Zuzow

Inspection Date: 7/17/2025
Report ID: 92635Commercial

Customer Info:	Inspection Property:
Mr. George Clooney Customer's Real Estate Professional: Happy Realtor Sotheby's	92635 Commercial Ave San Luis Obispo, CA 93401

Inspection Fee:

Service	Price	Amount	Sub-Total
Commercial Sq Ft 2000-4000	650.00	1	650.00
Travel	300.00	1	300.00
Inspection Discount	-250.00	1	-250.00
			Tax \$0.00
			Total Price \$700.00

Payment Method: Cash
Payment Status: Paid At Time Of Inspection
Note: Payment Via Apple Pay